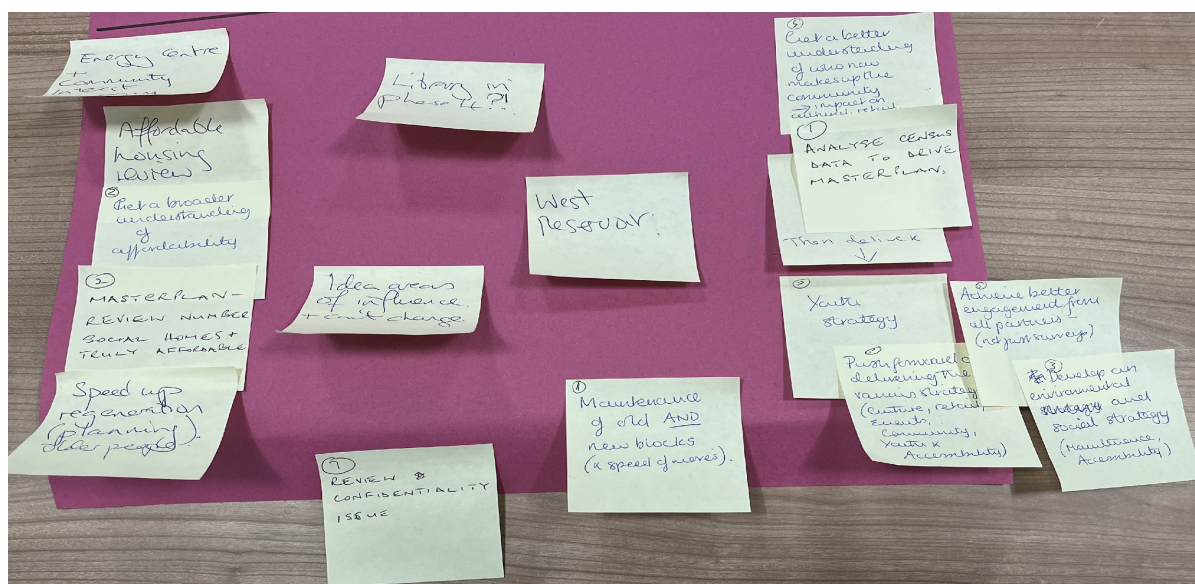


## WDCO Priorities for 2023

The ITLA facilitated a workshop for the WDCO Board members. The aim of the workshop was for WDCO to agree 8 priorities for 2023 and to discuss ways to strengthen ways of working.

The Board members worked in small groups. The 3 groups each identified 8 priorities, this was then presented and discussed by the Board members. There were a number of overlaps and links between the priorities identified by the different groups. After a lengthy discussion the Board members agreed 8 priorities which will be shared with the partners in preparation for the awayday;



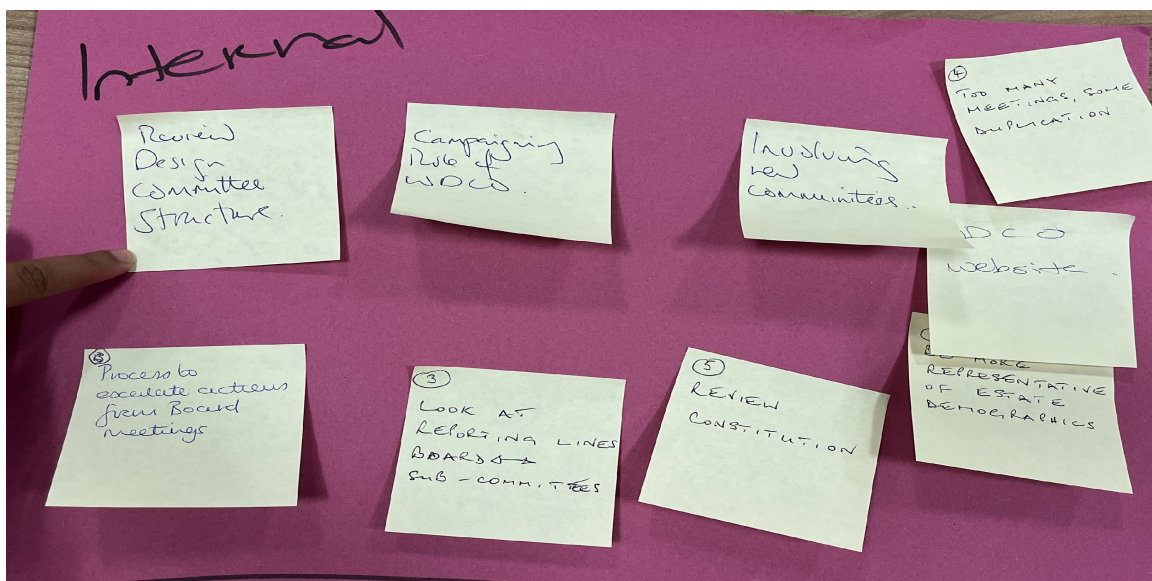
1. Energy Centre
2. West Reservoir
3. Masterplan:
  - Review the number of social homes and affordable housing options following issues with shared ownership
  - Consider whether affordable homes are truly affordable both in terms of cost of homes and service charges
  - Speed up the regeneration
  - Review the confidentiality issue; confidentiality should be the exception and not the standard
  - Review the Design committee structure to make it more effective and timely, including the confidentiality issue; confidentiality should be the exception and not the standard
4. Analyse the census data and get a better understanding of the Woodberry Down community. This will allow and assist in the development and delivery of;
  - Environmental and social strategy
  - Youth engagement strategy
  - Ground floor / Retail strategy

- Cultural strategy

The analysis of the census could also help achieve better engagement across the estate through targeted interventions and baseline to compare results.

5. Phase 4 Library
6. Ensure Standards of maintenance both for old and new homes
7. With partners Identify areas of influence and understand areas that can be changed and which can't e.g., due to planning requirements and with establishment of a hierarchy of decision-making structures provide clarity. This would make partner discussions more meaningful; and with properly agreed project managed timelines for sub groups would lead to less meetings and more meaningful interventions by WDCO. Also allow WDCO members that work to participate in decision making as would enable diarised evening meetings.

There were also a number of internal WDCO Board priorities that were identified, however the Board members were not able to discuss these in detail but have agreed to consider these at a future workshop.



- WDCO need to be more representative of the estate demographic
- Review Constitution
- Campaigning role of WDCO
- Involve new community
- Look at the reporting lines: Board and sub-groups
- WDCO Website
- Process to escalate actions from Board meetings